

ARCHITECTURAL STANDARDS FOR



ELLIJAY, GEORGIA

SUBORDINATE TO THE
DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS
OF THE ABBOTT MILL SUBDIVISION

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The specific Architectural Standards detailed within this document have been adopted by the Board of Directors. **Please Note:** This document will not cover every situation. If you wish to make a permanent or significant visual modification to your property that is **NOT** explicitly covered in this document, you still must submit an application to the Architectural Review Committee.

1) OVERVIEW

The Architectural Standards are intended to influence and offer a consistent method for reviewing the overall character of the homes built in Abbott Mill. The following information illustrates the principles and details that the property owners feel will help to create a community that increases in the value of its aesthetic appeal with the construction of each home.

The homes within Abbott Mill are sophisticated and one of a kind custom homes. These architectural standards have been created to help provide the freedom to build your dream home while maintaining community standards and the natural beauty of Abbott Mill. As with any document of this type there will be exceptions to some of the recommended procedures but unless approved by the Architectural Review Committee all submittals should be strictly based on the following standards.

The following information will help guide you through the process of understanding the Covenant regulations and Architectural Standards required through the complete process.

While we are not defining specific characters of architecture that will be approved for construction at Abbott Mill, there are several architectural genres that are encouraged. A craftsman or rustic style would classify the architectural direction for the community as “refined casual with a controlled rustic flair.” The character will come from a variety of similar architectural styles with similar detailing and related color palettes. As you drive through the community there will not be a single architectural character but a range of beautifully detailed, correctly proportioned homes that complement each other and together create a true neighborhood streetscape.

2) ROLE OF THE ARCHITECTURAL REVIEW COMMITTEE

The Governing Documents of the Abbott Mill Property Owners Association require that an Architectural Review Committee (ARC) be formed to ensure that the natural beauty of the area is maintained for the enhancement of each owner’s investment. The Abbott Mill ARC **“shall establish certain standards so that each lot owner may understand the uniform procedures to be implemented”**

The purpose of the ARC is to ensure that any installation, construction or alteration of any structure on any lot (including visible landscaping) shall be submitted to the ARC for review and approval. The ARC, through the Board of Directors, have all the powers and duties to approve or disapprove plans and specifications for any installation, construction or alteration on any lot within Abbott Mill.

The ARC may from time to time amend, adopt, revoke and enforce the Architectural Standards.

3) HOME STYLE EXAMPLES

APPROVED ARCHITECTURAL STYLES INCLUDE:

Craftsman style homes provide charm and character while incorporating the elements of hand-crafted stone and woodwork.



Adirondack cabin style homes provide the rustic appearance of incorporating natural materials to lend a rustic elegance to the mountains.



Southern vernacular style incorporates a mix of southern coastal cottages and farmhouse style. The large, spacious porches provide a transitional space between indoors and outdoors.



4) APPROVAL PROCESS

Application and review procedures that will be used by the Architectural Review Committee are detailed below:

All homes proposed for construction in Abbott Mill must be submitted for review by the Architectural Review Committee (ARC). The review process is broken into two phases:

- Preliminary Submittal
- Final Submittal

The Architectural Application and Approval Form can be obtained by contacting the ARC at their email address: arc@abbottmill.org.

PRELIMINARY SUBMITTAL

The purpose of the preliminary submittal is to review the overall character of the home and its compliance with the design specifications prior to the purchase of the plans or completion of the construction documents if the home is to be custom designed. This submittal should include all floor plans as well as the front elevation. This may be in any form as long as the plans are defined, and the design intent is clear in the exterior elevation.

FINAL SUBMITTAL

The purpose of the final submittal is to review all the details, materials, style, and colors to be utilized in the home. This submittal should include:

- All floor plans (lower, main, and upper)
- Front side and rear elevations illustrating all finished materials
- Site plan showing all projected site improvements as well as the anticipated final grading plan and finish floor elevations
- Completed submittal form specifying all materials, colors, and finishes

Upon submittal of the information as outlined above the architectural review committee will review the plans and return or reply to the submittal form marked either *“approved”* or *“revise and resubmit”* or *“declined.”*

The ARC shall act on submissions to it within (30) days of receipt.

5) COMPLETION OF WORK

- After the ARC has approved an application, the homeowner shall have 6 months from approval to initiate work. If there is a delay beyond 6 months the homeowner shall detail cause in a written letter submitted to the ARC explaining the reason for the delay and projected start date. If after 2 delays, i.e. a total of 12 months, the homeowner will be required to re-submit the plans in full for review.
- Construction of the entire dwelling shall be completed within 12 months of commencement. The timeline for the 12-month construction window will begin on the date of the posting of the building permit.
- When the exterior is painted, a perimeter site visit shall be performed by the ARC to determine compliance with the final approved design. The owner or contractor (acting as the owner's agent) shall call to inform the ARC that the house is ready for inspection and schedule the site visit. After such visit the ARC will provide a written report to the owner on compliance of the constructed house with the design in the final approved plans. The ARC shall at no time enter the dwelling unless requested by the homeowner.
- If an unforeseen event occurs that prevents the work from being completed in the initial 12-month time period, the homeowner shall apply in writing to the ARC for an extension of time to complete the work. The homeowner shall provide a good faith estimate of the time required to complete the work.
- There shall be no more than 2 extensions for each approved application. The extension approval shall be at the discretion of the ARC.
- No structure shall be permitted to stand with its exterior in an unfinished condition for longer than 12 months after commencement of construction which is determined at posting of the building permit.
- If the work remains incomplete after the 2nd extension, the Abbott Mill ARC shall inform the Board of Directors for further action.
- The homeowner of the lot on which construction improvements are being made shall keep a debris dumpster available to ensure the area remains kept in a clean fashion and prevents debris from blowing off their lot.
- The Homeowner (or builder, on behalf of the homeowner) will request a final field review no later than 30 days of completion of home construction. The ARC will then conduct a final field review, sending a certified letter to the owner listing any changes required to bring the home into compliance with the approved plans. If corrections are not made within 60 days, the owner will be notified via a certified letter as to the reason.
- The homeowner will be held responsible for ensuring that the design and construction guidelines are met.

6) ARCHITECTURAL DESIGN GUIDELINES

A) BUILDING MASS, SIZE

- The minimum square footage requirements are 1400 sq. ft. for a single level (main floor) home. 2000 sq. ft. for a full 2-story multi-level home with a base footprint of a minimum 1400 sq. ft. square footage is determined by finished, heated space from two floors only (either first floor or first and second floor).
- Overall building mass should emulate one and one-half story massing.
- Full two-story massing should be avoided by the introduction of one-story elements or varied cornice lines.
- The mass of the building should appear rambling to complement the character of the site. This can be accomplished by manipulating the footprint, rooflines and/or exterior materials, as well as adding covered porches, stoops, dormers and bays.
- Buildings should have a minimum of 50 ft. setback from the road when the lot terrain allows. The required setback is 25 ft. from the front of each lot.
- If any changes are made from the original plan or design the homeowner, or builder on behalf of the homeowner, should immediately notify the ARC via email (arc@abbottmill.org). The ARC shall have up to 30 days to review and consider the changes and approval in writing must be given before any changes can be made to the project.
- If changes to the original plan or design are initiated before written approval by the ARC it will be considered a violation, and the lot owner will be notified by the ARC of the actions needed to remedy the violation.

B) PORCHES

- Front porches should be ample. When possible, they should be a minimum of 6'-0" deep
- Steps to grade at all front entries should be well defined. Ideally a minimum of 5'-0" wide and attach to an apron of the same width.
- Porches should have an independent roof structure separate from the main building mass.
- The introduction of copper or metal accent roofs over front porches is recommended.

C) DOORS

- Doors with transoms are permitted.
- Double doors are permitted.
- Use of stained glass or ornate decorative glass should be minimized.
- No two-story glass entries will be considered appropriate.
- No storm or screen doors will be permitted on the front of the home.

Appropriate



Inappropriate



D) FOUNDATIONS

- All foundations to be masonry materials with no exposed bare masonry or concrete finishes
- Main level finished floors should be clearly elevated above the finished grade at front elevation
- Plantings around the foundation positioned within one year of occupancy and appropriately sized to the home structure.

STONE

- introduce the break of plane at main level finished floor line.
- Stone ledge or band are the only acceptable breaks.
- Siding and shingle
- The foundation below must be masonry material (brick or stone)
- Drip cap at transition or skirt board are acceptable transitions based



BRICK

- Introduce break or plane at main level finished floor line.
- Simple brick shapes, rowlock band or stone ledge are all acceptable breaks



E) GARAGES AND DRIVEWAYS

- Detached garages are permitted but shall be constructed of the same exterior material as the main house.
- Garage doors are to be a carriage type garage door from wood or a composite material that emulates wood.
- Standard sixteen panel garage doors are inappropriate
- Flush doors without applied molding are inappropriate
- Front entry garage doors are permitted, ideally the garage doors would be behind the plane of the front porch or front door of the home.
- Front entry garages must have two separate garage doors. No double wide or three car entries will be permitted on front entry garages.

Appropriate



Inappropriate



GARAGES AND DRIVEWAYS (CONTINUED)

- Driveways should have a curved, natural shape and address the front door.
- Driveway and sidewalk paving are encouraged within 1 year of installation. Concrete or asphalt are acceptable.

Appropriate



Inappropriate



F) SHUTTERS AND WINDOWS

- All shutters should be ½ the width of the adjacent window and of the same height.
- Approved shutter styles include panel, louvered, and batten.
- All windows to be true divided-lite or simulated divided-lite except for the back of the house if the homeowner chooses.
- All double hung or casement windows should have a muntin pattern appropriate to the style of the home.
- Window type, style, casing, and muntin pattern should be consistent around all sides of the house except for the back of the house if the homeowner chooses.

G) EXTERIOR VENEERS

- Mixing materials is a recommended method for adding character and breaking up the mass of the home.
- Any change of materials is to occur on an inside corner. No material change is to occur such that the thickness of the material is clearly visible.

Siding

- Horizontal siding to be solid wood, engineered wood, or concrete solid board such as Hardie plank or equal.
- Horizontal siding to be 6" maximum exposure and 4" minimum.
- Corner boards to be 1x6 corner boards typical.

Shingle

- Shingle siding to be cedar, engineered wood, or concrete shingle
- Shingle pattern to be varied width with straight pattern only (no saw tooth pattern allowed).
- Woven corners are strongly encouraged but 1x6 minimum corner boards are acceptable

Board and Batten

- B&B should be cedar boards or concrete panels.
- Corner boards should be 1x6.

Brick

- Brick to be wood molding or wood molding textured brick with varied color and texture.
- Earth tone brick colors are strongly recommended.
- Mortar colors should be a contrasting but complimentary color to the brick used. Recommended color ranges include buff, Coosa light, ivory buff, grey, and sand.
- No red mortar is to be used in the development

Stone

- Natural stone is strongly recommended.
- The use of approved synthetic stone will be permitted. Any stone palette must be approved prior to installation.
- Stone should not be supported by any other material. For example, stone should not be used directly above a brick foundation.
- Inappropriate exterior veneers are designated as vinyl or aluminum siding, log veneers or log siding.

Colors

- Exterior color palettes should be in the earth tone color range.
- Pastels should be avoided wherever possible.
- Overall colors should complement the “natural” environment of the Abbott Mill community.
- Prior approval of the ARC shall be necessary before any exterior finishing color is changed.

H) DORMERS AND BAY WINDOWS

- Dormer and bay windows should be appropriately detailed and proportioned to match the particular style of the home.

I) ROOF MATERIALS

- Appropriate roof materials include but are not limited to: architectural fiberglass shingles, cedar shingles, cedar shakes, slate, synthetic slate (sample must be approved) standing seam metal (accent roofs only)
- Metal or copper roofs are only acceptable as an accent roof over front porches and are required to be standing seam.

J) PROPANE TANKS

- Propane tanks will be buried when possible. Any tank unable to be buried is required to be placed in an obscured location to prevent viewing from the roads of Abbott Mill.

K) GUTTERS

- All gutters must be seamless construction in pre-finished color consistent with the house.
- No vinyl gutters are allowed.
- All gutter extensions are to be properly buried so as not to be visible.
- Chosen color should match the color of the building.
- Dormers should never receive gutters or downspouts.

L) TREE REMOVAL

- No mass removal of trees will be allowed unless such is necessary for construction, or to prevent a hazard. Furthermore, no large trees shall be removed from the property except in connection with the reasonable requirements of construction and landscaping, or where such trees are dead, damaged or present an imminent hazard.
- The removal of hardwood trees should be kept to a minimum to retain the aesthetic beauty of the Abbott Mill community.

M) CONTACT INFORMATION

ABBOTT MILL PROPERTY OWNER'S ASSOCIATION (AMPOA)

324 Abbott Mill Rd.

Ellijay, GA 30540

Telephone: 706-502-5044 (text)

Email: poa@abbottmill.org

Website: www.Abbottmill.org

Facebook: www.facebook.com/Abbottmill

Board of Directors (BOD)

Greg Geisler, President	604 Abbott Mill Rd Ellijay, GA 30540	Lot 37
Dave Sheffield, Vice President	577 Abbott Mill Rd, Ellijay, GA 30540	Lots 11,12
Sal Jesuele, Treasurer	296 Abbott Mill Rd. Ellijay, GA 30540	Lot 47
Gary Babcock, Member	236 Sawblade Ln. Ellijay, GA 30540	Lots 32,33
Robbie Harbour, Member	972 Abbott Mill Rd. Ellijay, GA 30540	Lot 25

ARCHITECTURAL REVIEW COMMITTEE (ARC)

Email: arc@abbottmill.org

Michelle Kill	305 Abbott Mill Rd, Ellijay, GA 30540	518-223-2140
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LIVE IN ABBOTT MILL, YOU'LL LOVE IT!

"....they walked up the hill to watch the afterglow clinging to the tops of the western mountains and to feel the breeze drawn into the valley by the rising day-heated air. Usually they stood silently for a while and breathed" -John Stienbeck